

## URBAN DESIGN STANDARDS

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**TAB 10**

## Urban Design Character

The Aurora Highlands blends a variety of land uses and urban design elements to create a place that caters to modern demands such as increased connectivity, technology and security; while still being respectful of traditional values such as family, a sense of community, and environmental stewardship. The Aurora Highlands is a modern community committed to smart design and rooted in the land on which it resides.

Drawing from lessons of the past where growth and development first centered on ports and harbors, and eventually railroads and highways; future cities will emerge around modern transportation hubs such as airports. These modern communities place a high value on connectivity, technology, and security.

Located just south of DIA, the Aurora Highlands is directly in the airport influence area that could bring significant development to the City of Aurora. The Aurora Highlands is located within the Colorado Aerotropolis Visioning Study Area. This Visioning Study is the result of a multi-municipal effort to create a plan and strategy to develop an Aerotropolis adjacent to the Denver International Airport.

With a target build out anticipated for 2040, multiple generations could call The Aurora Highlands home. Because of this, the community intends to meet current market demands as well as provide flexibility for future needs.



<b>Special Urban Design Feature</b>	<b>Brief Description of the Feature</b>	<b>Location of the Standards in Application Package</b>
<b>1. Entry Monumentation</b>	Monumentation at entries to the community, all villages, village parks, the Community Activity Centers (CAC), and the mixed-use village to feature a Prairie-style influenced Modern Colorado motif with stone-like materials and metal accents. Lettering and signage will follow the standard logo and font style listed in the signage standards.	Tab 10, Page 8-9.
<b>2. Retaining Walls</b>	All walls should ideally be low and linear in form when possible to emphasize the long, linear aspects naturally found in the prairie landscape.	Tab 10, Page 10.
<b>3. Fence and Privacy Walls</b>	Arterials to be lined with screening walls or metal picket fences. Collectors to have wood or metal style fences. Arterials and collectors require store or faux stone masonry columns and a minimum 20' fence setback. Internal fences and fences along open space and parks shall meet Parks, Recreation, and Open Space (PROS) fence standards or as approved by PROS at time of CSP or ISP.	Tab 10, Pages 11-13.
<b>4. Lighting Standards</b>	Lighting standards shall have a modern style. Lighting to be at pedestrian scale in parks, open spaces & enhanced streetscapes. Lighting to be vehicular scale on roadways, drives, and parking lots.	Tab 10, Page 14.
<b>5. Paving Standards</b>	Enhanced paving areas may be used at the main entrances to all villages, the CACs, the mixed-use village and Community Recreation Center. Enhanced paving may be used in primary pedestrian plazas and in areas of high activity, such as the mixed-use village, CAC and high commercial uses to slow traffic and emphasize pedestrians are present. Note: Enhanced paving within the ROW shall be covered by a license agreement and is the responsibility of the Metropolitan District.	Tab 10, Page 15.
<b>6. Street Furniture Standards</b>	Benches and trash receptacles to be Prairie-influenced modern style in materials and form.	Tab 10, Page 16.
<b>7. Signage Standards</b>	The FDP has adopted a standardized type face, logo, and a series of thematic colors for use in all project identification signs. Signs may be one of a family of styles to give a consistent appearance with a unique twist.	Tab 10, Page 17.
<b>8. Special Village Concepts</b>	Special Villages will include niche and rear-loaded homes.	Tab 10, Page 18.
<b>9. Special Facilities and Structures Such as Clubhouses and Recreational Facilities</b>	Special facilities will reflect a Prairie-style and Modern Colorado style of architecture. Reference architectural standards for additional details.	Tab 10, Page 19.
<b>10. Other</b>	Density Transfer will be allowed between planning areas in TAH.	Tab 10, Page 20.

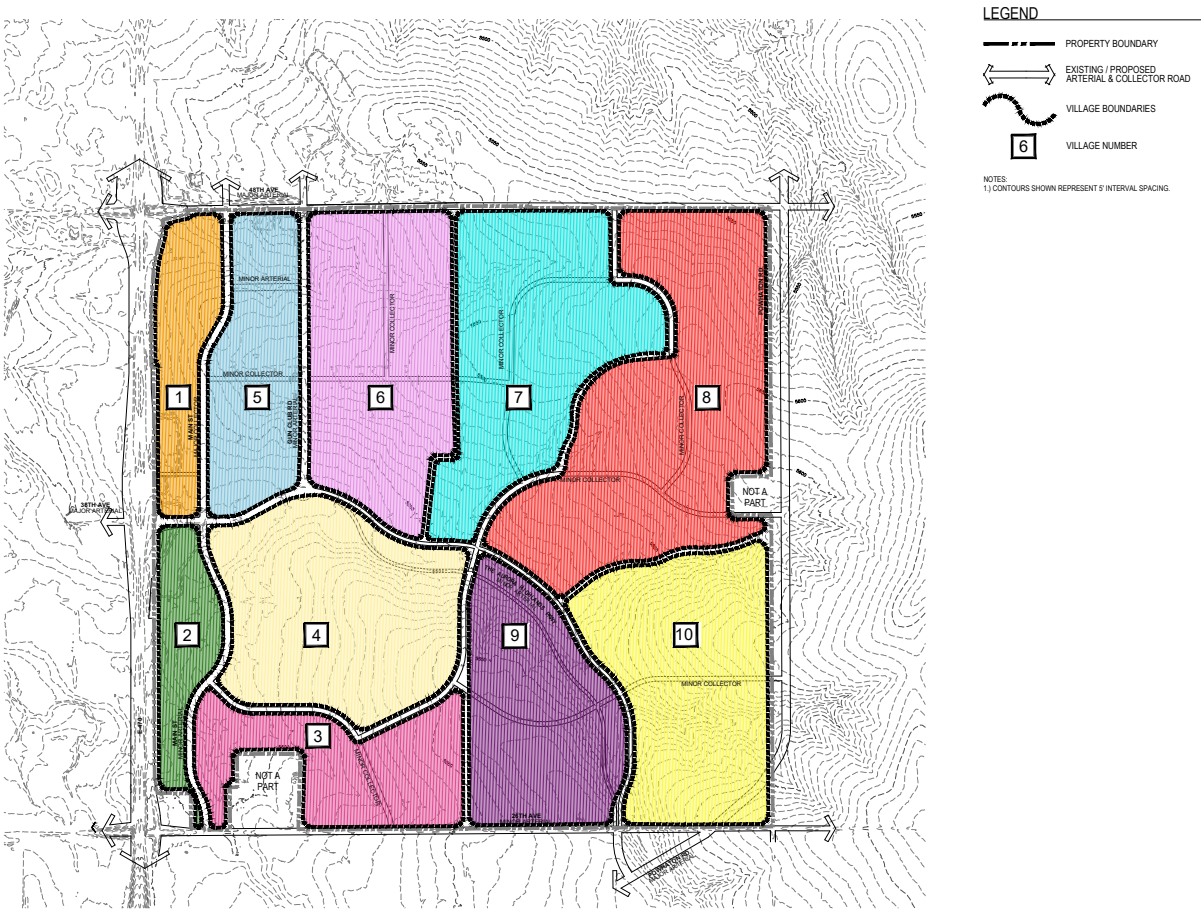
The design standards listed in this matrix implement the design themes of the FDP and are intended to complement and exceed E-470 (or Northeast Plains) and other ordinance standards. Unless a waiver has been specifically requested and granted, if a conflict should exist between any specific provisions of this matrix and any other ordinance standards, the higher standards shall govern.

All the photos and illustrations referenced by this matrix are representative of the level of design quality required by this FDP. Final designs to be submitted at the Contextual Site Plan level will not necessarily duplicate the exact illustrations, but will contain the same themes and styles as shown.

The Aurora Highlands community is designed as a collection of villages (or villages). It is intended that each will have their own unique character and amenities specific to the demands of the targeted user. Although unique and individually identifiable, the collection of villages will reflect the overall theming and guiding design principles outlined in this FDP.

Due to the projected build out of the community spanning over many decades, it is difficult to determine market needs of all proposed areas. Specific distinguishing village characteristics will be further defined with sub sequential CSP submittals to better reflect the future demands of the users.

The below exhibit 10.1, Village Key Map in conjunction with Form F-2: Village Matrix are intended to give generalized information related to individual village character.



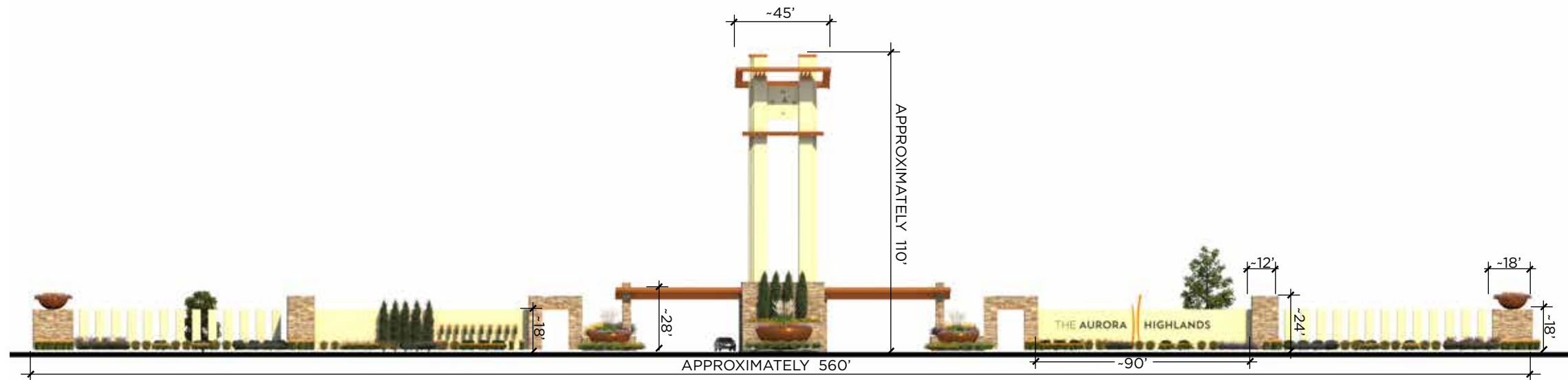
Village	Distinguishing Characteristics		
	Urban Design	Landscape	Architecture
<b>Village 1</b>	This village will consist of a proposed dense mixed-use area to the northwest and a civic campus to the southwest along the E-470 corridor. Mixed use with vertically integrated residential is anticipated in this village. Refer to Waiver 1.	Landscape character will correlate with the overarching theming expressed in the landscape standards. Specific landscape elements will be further defined at the time of CSP.	Architectural character will correlate with the overarching theming and styles expressed in the architectural standards. Specific architectural elements will be further defined at the time of CSP.
<b>Village 2</b>	This village will consist of a proposed medical campus and corporate campus located between the E-470 corridor and main street.	Landscape character will correlate with the overarching theming expressed in the landscape standards relative to non-residential and residential areas. Specific landscape elements will be further defined at the time of CSP.	Architectural character will correlate with the overarching theming and styles expressed in the architectural standards. Specific architectural elements will be further defined at the time of CSP.
<b>Village 3</b>	This village will consist mainly of residential uses with an open space corridor bisecting the village and connecting it to adjacent parks and open space.	Landscape character will correlate with the overarching theming expressed in the landscape standards relative to non-residential and residential areas. Specific landscape elements will be further defined at the time of CSP.	Architectural character will correlate with the overarching theming and styles expressed in the architectural standards. Specific architectural elements will be further defined at the time of CSP.
<b>Village 4</b>	This village will consist mainly of residential. A school and two neighborhood parks are anchor the southern corners of the village and provide points of interest along the open space trail network that bisects the village.	Landscape character will correlate with the overarching theming expressed in the landscape standards relative to non-residential and residential areas. Specific landscape elements will be further defined at the time of CSP.	Architectural character will correlate with the overarching theming and styles expressed in the architectural standards. Specific architectural elements will be further defined at the time of CSP.
<b>Village 5</b>	This village will consist of mainly residential with a large portion being mixed use. The mixed use area is adjacent to the main street area to the west.	Landscape character will correlate with the overarching theming expressed in the landscape standards relative to residential areas. Specific landscape elements will be further defined at the time of CSP.	Architectural character will correlate with the overarching theming and styles expressed in the architectural standards. Specific architectural elements will be further defined at the time of CSP.

**FORM F-2: VILLAGE CHARACTER MATRIX**



Village	Distinguishing Characteristics		
	Urban Design	Landscape	Architecture
<b>Village 6</b>	This village will consist mainly of residential uses around a centrally located school. It is adjacent to the community park to the southwest and contains a village park that connects through an open space corridor to trails on both east and west sides.	Landscape character will correlate with the overarching theming expressed in the landscape standards relative to residential areas. Specific landscape elements will be further defined at the time of CSP.	Architectural character will correlate with the overarching theming and styles expressed in the architectural standards. Specific architectural elements will be further defined at the time of CSP.
<b>Village 7</b>	This village consists of a variety of land uses. A commercial corner is located in the northwest corner providing the village with neighborhood level services. A community park anchors the southern edge and is the base point for a large corridor which facilitates a series of open space and parks.	Landscape character will correlate with the overarching theming expressed in the landscape standards relative to residential areas. Specific landscape elements will be further defined at the time of CSP.	Architectural character will correlate with the overarching theming and styles expressed in the architectural standards. Specific architectural elements will be further defined at the time of CSP.
<b>Village 8</b>	This village consists mainly of residential areas. Homes are connected through a network of open space corridors and parks. A school site is located along the village's western boundary and will service the surrounding villages.	Landscape character will correlate with the overarching theming expressed in the landscape standards relative to residential areas. Specific landscape elements will be further defined at the time of CSP.	Architectural character will correlate with the overarching theming and styles expressed in the architectural standards. Specific architectural elements will be further defined at the time of CSP.

Village	Distinguishing Characteristics		
	Urban Design	Landscape	Architecture
<b>Village 9</b>	This village will consist mainly of residential uses with an open space corridor bisecting the village and connecting it to adjacent parks and open space.	Landscape character will correlate with the overarching theming expressed in the landscape standards relative to residential areas. Specific landscape elements will be further defined at the time of CSP.	Architectural character will correlate with the overarching theming and styles expressed in the architectural standards. Specific architectural elements will be further defined at the time of CSP.
<b>Village 10</b>	This village consists of a variety of land uses. A commercial center anchors the southern edge. This area will provide the village and surrounding areas with neighborhood level services. A school, fire station, and neighborhood park are central to the village and will provide the residents with required service facilities. A series of open spaces and parks are located throughout the village and connect residents to the surrounding amenities.	Landscape character will correlate with the overarching theming expressed in the landscape standards relative to residential areas. Specific landscape elements will be further defined at the time of CSP.	Architectural character will correlate with the overarching theming and styles expressed in the architectural standards. Specific architectural elements will be further defined at the time of CSP.



Primary Residential Monument

## Community Monumentation

Entry monumentation will be developed to enhance the Prairie-influenced Modern Colorado style and will be one of the key components that unifies the overall community. Monumentation will use vernacular materials and forms that represent the community style. Such materials include, but not limited to, natural stone, textured surfaces, and copper elements organized in long, linear forms with vertical accents. Additional materials within the prairie-influenced Modern Colorado family can be found in the landscape and architectural design guidelines.

Primary entry monumentation will be grand in scale and will use key architectural elements to draw interest. Long, linear forms will be used as a grounding element to contrasting vertical and columnar elements.

The primary monument will be located along the The Aurora Highlands Parkway entrance off of the E-470 corridor.

More specific information regarding specific monumentation will be available at the time of CSP.



LONG, LINEAR FORMS TO  
GROUND VERTICAL ELEMENTS



STONE ELEMENTS AND  
REPETITION OF FORM



COPPER/ METAL ACCENTS



VERTICAL ELEMENTS WITH  
ARCHING ACCENTS



Monumentation Elements

\*NOTE: Styles shown are conceptual of the prairie influence and Modern Colorado motif. Graphic depictions of possible monument element configurations of non-residential and residential signage. All designs and locations are subject to change at time of CSP.





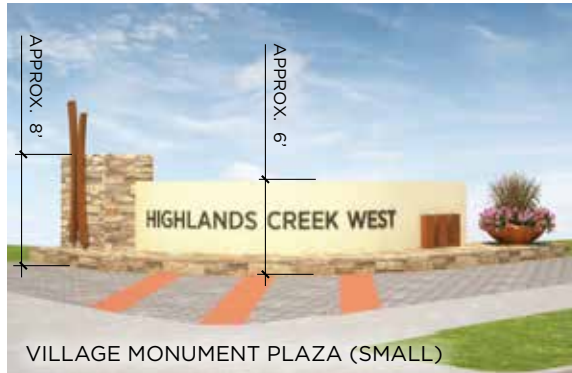
SECONDARY ENTRY MONUMENTS



COMMUNITY MARKERS



VILLAGE MONUMENTS



## COMMUNITY MONUMENTATION

Entry monumentation will be developed to enhance the Prairie-influenced Modern Colorado style and will be a key component that unifies individual villages within the overall Aurora Highlands community.

Secondary Entry Monuments will provide community identity at access points along peripheral roadways. Village Monuments will define the corners of the villages within the community. Community Markers will provide definition for the periphery of the community. Residential and Non-Residential Monuments will be utilized for individual neighborhoods and non-residential developments.

The elements and materials for the monuments will tie the entire community together as a whole. Other materials may be introduced, as appropriate, for individual villages character. These monuments will work at both a pedestrian scale and a vehicular scale to welcome people to villages, residential, and non-residential uses.

Monuments may vary in design provided they unify around the family materials and forms. This will provide creative approaches to individual uses while maintaining consistency within the community.

All monumentation will follow or exceed the minimum standards specified in the current City of Aurora code. More specific information regarding secondary monumentation will be available at the time of CSP.

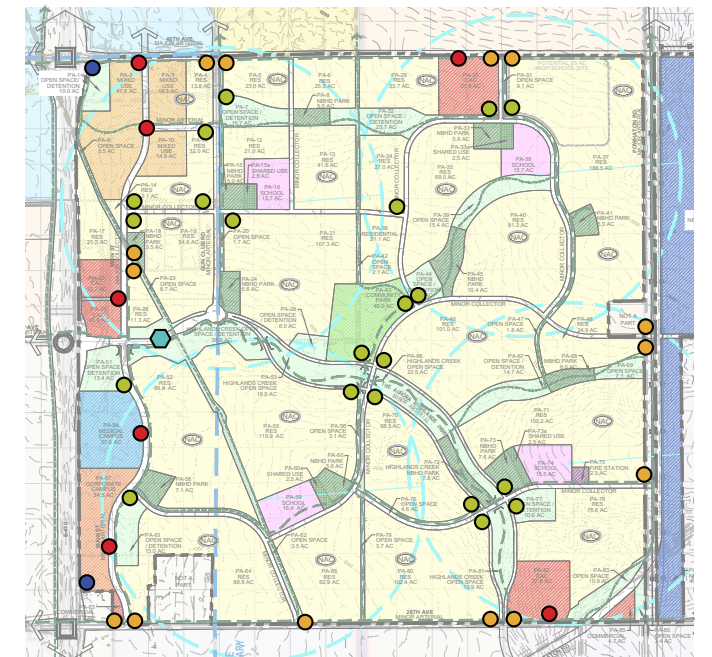


RESIDENTIAL



NON-RESIDENTIAL EXAMPLES

- ◆ Primary Monumentation
- Secondary Monumentation
- Village Monumentation
- Non-Residential Monumentation
- Community Markers



MONUMENTATION MAP

\*NOTE: Styles shown are conceptual of the prairie influence and Modern Colorado motif. Graphic depictions of possible monument element configurations of non-residential and residential signage. All designs and locations are subject to change at time of CSP.





Retaining Walls Abutting Collectors and Arterials to be Low and Linear

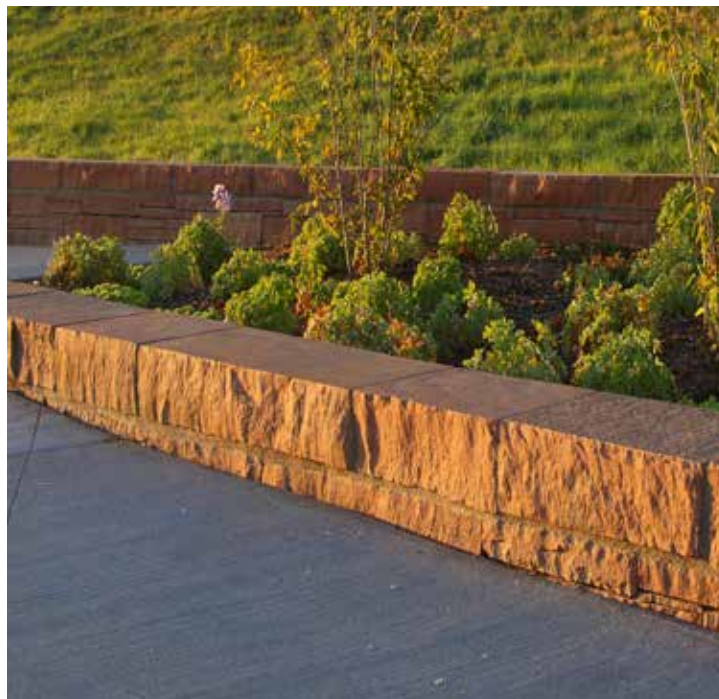


## Retaining Walls

When possible, walls abutting collector and arterial roads to be predominately made of low and linear stone-like materials. When applicable, these walls will be in a series with landscape in between to create a terracing effect and also to maintain community-wide aesthetic cohesiveness. The terracing effect will enhance the verticality of the site design, and create a sense of hierarchy to places of focus. Terraces will respond to existing trees and topography, where applicable. All terraces are to take into consideration sun, shade, wind, and rain shielding requirements.

All other retaining walls may be split face concrete masonry units with a warm, neutral color. When possible, these walls should resemble natural stone and keep with the linear and terracing character of the Community wall concepts.

Retaining wall design shall follow City Code and the Roadway Design Manual standards.



Stone-Like Materials



Retaining Walls with Terracing Effect



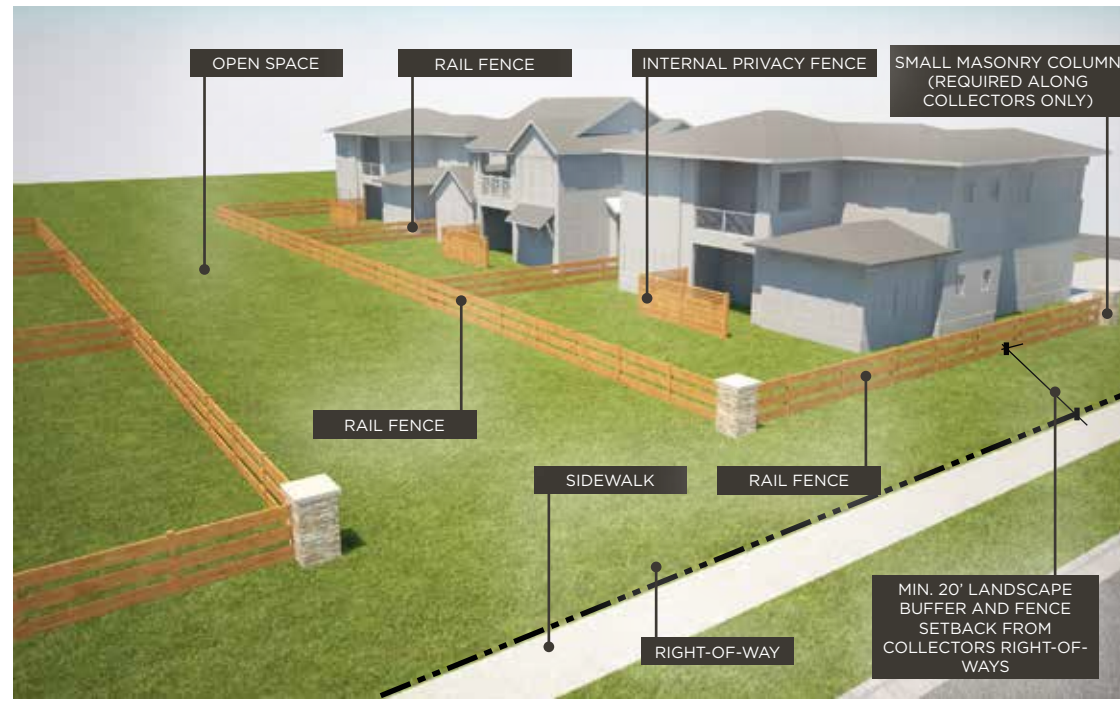
Split Face Concrete Masonry Units

\*NOTE: Images shown are conceptual of the prairie-style influence and Modern Colorado motif. All designs are subject to change at time of CSP.

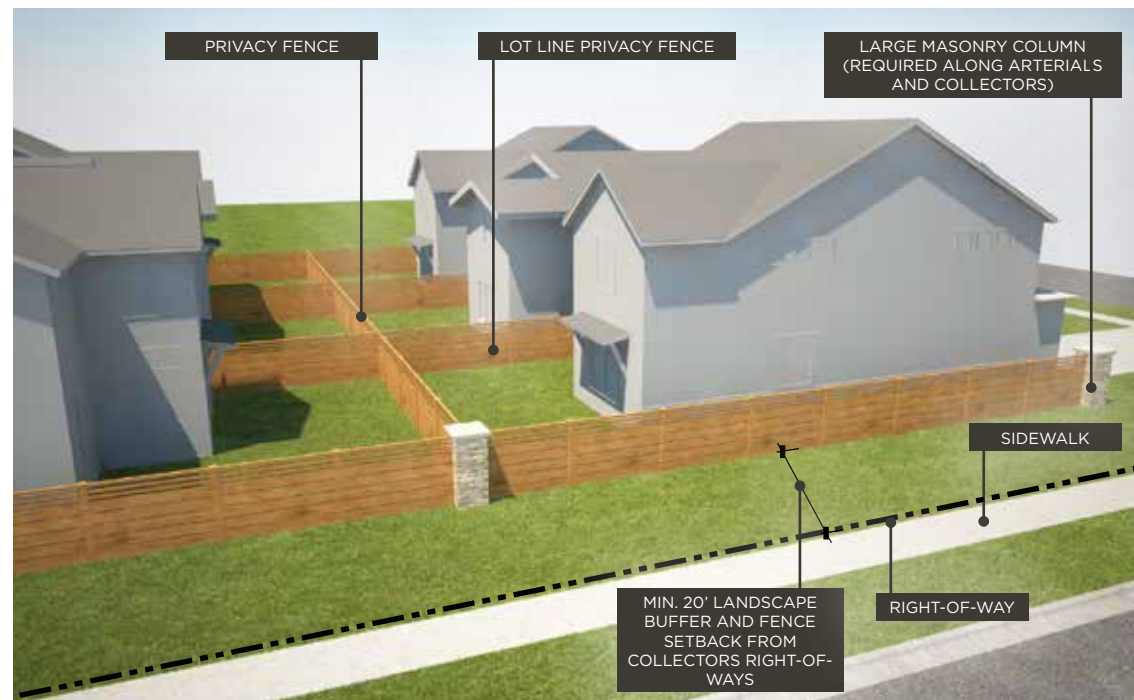




60' Wide Lot and Above



House to Open Space



Below 60' Wide Lot



House to Arterial/Collector Road

## Fences and Privacy Walls

All fences will meet, at a minimum, the requirements set out in Appendix 15, Section 146-1741 (Location, Setback and Height Requirements). Refer to Appendix 15, Section 146-1743 (Design and Material Requirements) and Table 17.2 (Summary of Fence Design and Material Standards) to address continuous unbroken fence planes.

Fences, walls, and gates are to extend the architecture, both residential and non-residential, giving definition and variety to the streetscape and outdoor spaces while also screening service areas. Privacy walls are discouraged within lots. Privacy walls and fence styles are to compliment the architectural style of the structure. All fences along public open space and parks are to be rail type fences.

### Roadways

Walls and fences proposed along arterials to be segmented concrete walls with a faux stone finish or metal picket fences with masonry columns. All fence and wall types are allowed to be used with masonry columns along collectors. Walls and fences along arterials and collectors shall be set back a minimum of 20' from the ROW. Single family lots will not be allowed to back up to local streets.

### Lots Below 60' Wide

Privacy fence will be used along property lines but should not to be "doubled-up" along the property line; only one fence will be allowed.

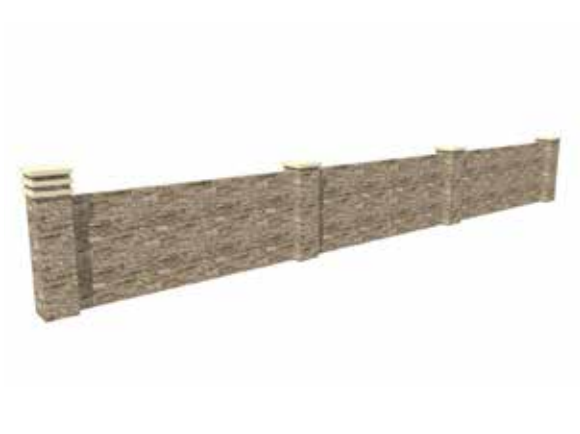
### Lots 60' Wide and Larger

Privacy fences should only be used on the interior of lots and not along the property lines. Privacy walls and fences should only be in the backyard area and along the main body of the building and used for screening patios, hot tubs, or similar type areas. In order to maintain views down property lines, privacy fences should not extend the entire length of the property line to the rear of the lot should directly attach to the structure to which they are associated.

\*NOTE: Images shown are conceptual of the prairie-style influence and Modern Colorado motif. All designs are subject to change at time of CSP.



Fence Types



6' MASONRY SOUND WALL

Character Imagery



6' MASONRY WALL/ 8' SOUND ATTENUATION WALL (E-470)

Notes

Will be used along arterial and as an 8' noise attenuation wall along E-470. Can be used along collector roads. Will be used as trash enclosures for multifamily and commercial. Specific fencing types will be addressed at time of CSP for security fencing. Must match approved pattern and color of community.

Masonry Wall



STONE COLUMN WITH CAP AND ACCENT



LARGE COLUMN  
(MIN. HEIGHT = FENCE HEIGHT + 1')



SMALL COLUMN  
(MIN. HEIGHT = FENCE HEIGHT + 1')

Will be used along all collectors and arterials and will be associated with masonry sound walls and metal picket fencing. Will be located every 60 LF or every other lot, as well as at all direction changes and ends. Small columns located at highly visible areas associated with 3-rail fencing. To have stone or faux stone finishes.

Masonry Columns



4' 3- RAIL FENCING



4' 3- RAIL WOODEN FENCE USED FOR INTERIOR LOT LINE FENCING



4' 3-RAIL CONCRETE FENCE WITH MESH USED ALONG ROADWAY TRACTS, OPEN SPACE, & PARKS

Will be used at parks and open space for all lots. Can be used along local and collector roads, between lots, and internally in lots. Style to match architecture. Not to be used along arterials. Pet mesh is required along open space and trail corridors.

3-Rail Fence

\*NOTE: Images shown are conceptual of the prairie-style influence and Modern Colorado motif. All designs are subject to change at time of CSP.



Fence Types

Character Imagery

Notes



3' TO 6' STANDARD METAL PICKET



3'-6' STANDARD METAL PICKET



5' DECORATIVE METAL PICKET

Will be used as an alternative to masonry walls along arterials. Can be used along local and collectors on all lots. Fence heights to be dependent on location and use intent. Can be used as perimeter fencing and security fencing for multifamily residential.

Metal Picket Fence



5' TO 6' WOODEN PRIVACY FENCE



6' WOODEN PRIVACY FENCE

Will be used along local and collector roads and between lots on lots less than 60' wide. Can be used internally on all lots. Style to match architecture. Not to be used at parks and open space. Continuous fence length not to exceed what is described in Appendix 15, Table 17.2.

Privacy Fence

Lots 60' Wide and Above										
	Major Arterial Rd	Minor Arterial Rd	Major Collector Rd	Minor Collector Rd	Local Rd	Private Rd	Public Open Space	Private Open Space	Parks	Residential Lot Internal
Masonry Fence (6 Foot Tall)	A	A	A	A	P	P	P	P	P	P
Metal Picket (6 Foot Tall)	A	A	A	A	A	A	A <sup>(1)</sup>	A	A	A
Wood Privacy (6 Foot Tall)	P	P	P	P	P	P	P	P	P	A
3-Rail Fence (4 Foot Tall)	A	A	A	A	A	A	R	A	A	A
Minimum 20' Landscape Buffer	R	R	R	R						

Lots Below 60' Wide										
	Major Arterial Rd	Minor Arterial Rd	Major Collector Rd	Minor Collector Rd	Local Rd	Private Rd	Public Open Space	Private Open Space	Parks	Residential Lot Internal
Masonry Fence (6 Foot Tall)	A	A	A	A	P	P	P	P	P	P
Metal Picket (6 Foot Tall)	A	A	A	A	A	A	A <sup>(1)</sup>	A	A	A
Wood Privacy (6 Foot Tall)	P	P	A	A	A	A	P	P	P	A
3-Rail Fence (4 Foot Tall)	A	A	A	A	A	A	R	A	A	A
Minimum 20' Landscape Buffer	R	R	R	R						

<sup>(1)</sup>NOTE: Metal Picket along Public Open Space is subject to approval by PROS at time of CSP.

A - Allowed  
P - Prohibited  
R - Required

Selected fence type will be used continuously for the roadway or land use property line it is associated with. Transitions between fence types and specific fence type locations will be identified with CSPs.

Fences will meet, at a minimum, the requirements set out in Appendix 15, Section 146-1741 (Location, Setback and Height Requirements).

Required Setback buffers are from the back of walk.

Refer to Page 12 for Masonry Column Requirements.

Fence Chart

URBAN DESIGN STANDARDS

\*NOTE: Images shown are conceptual of the prairie-style influence and Modern Colorado motif. All designs are subject to change at time of CSP.





Commercial /Retail / Civic



Open Space / Park



Arterial / Collector Streets



Local Streets



Mixed-Use / Commercial Streets



Bollards And Pedestrian



Residential



Streetscape

## Lighting Standards

Specific lighting standards are not intended to be replicated across the entire community but are intended to represent the Prairie influenced modern Colorado style. This is intended to allow for variations in identity between the different land uses and users. Lighting throughout The Aurora Highlands community shall be functional and serve the purpose of enhancing safety for both automobiles and pedestrians.

Lighting forms and materials within public places such as parks, Community Activity Centers, the mixed-use village and recreation centers should follow the Prairie-style influenced modern Colorado style. Where applicable, lighting should be appropriate to the pedestrian scale and maximize pedestrian safety.

Exterior building lighting, either attached to, or part of, the building will be the minimum needed to provide for general illumination, security, and safety at entries, patios, outdoor spaces, and associated landscape structures. Subtle lighting of plant materials may be approved if not visible from off site and if it is achieved through the use of hidden light sources.

Lighting fixtures are to be consistent with architectural styles of adjacent buildings or structures.

To preserve the nighttime dark sky and limit light impact on neighboring properties, light emanating from the building interiors needs to be strictly controlled. In order to minimize glare and exterior light spill, interior lighting is to be concentrated at activity areas and minimized next to windows. Lighting adjacent to windows is to be directed towards the building interior. Architectural or decorative elements, such as trellises and curtains are to be used to minimize the quantity of light escaping through windows.

Lighting in residential areas should follow or exceed the minimum standards set by the City of Aurora's lighting code. Light fixtures installed in City ROW will be owned and maintained by the City and shall meet City of Aurora Standards. Specific information regarding lighting will be provided at the time of CSP.

\*NOTE: Images shown are conceptual of the prairie-style influence and Modern Colorado motif. All designs are subject to change at time of CSP.

Street and pedestrian lights installed in the City of Aurora public ROW, shall be owned and maintained by the City of Aurora and will meet City standards.

\*NOTE: Images shown are conceptual of the prairie-style influence and Modern Colorado motif. All designs are subject to change at time of CSP.





Tree in Hardscapes



Enhanced Paving at Pedestrian Crossings



Paving Materials in Long, Linear Forms



Enhanced Paving at Major Pedestrian Plazas

## Paving Standards

Stamped and/or colored masonry paving areas may be used as enhanced paving areas. These may be used at pedestrian street crossings, the main entrances to all villages, the CACs, the mixed-use village and Community Recreation Center. Primary pedestrian plazas may be used on streets in areas of high activity, such as the mixed-use village, CAC and high commercial use to slow traffic and emphasize pedestrians are present.

Designs are to minimize the use of several different types of paving materials and should produce an understated, unified design emphasizing long, linear rows and repetitive agricultural patterns.

In addition to enhanced paving, plantings areas within paved spaces may also be used to enhance areas of interest in conjunction with enhanced paving materials, patterning, or color. All tree openings shall be a minimum of 5'x10' to ensure the health on longevity of the tree.

Enhanced paving in ROW shall be covered by a license agreement and noted on improvement plans to be the responsibility of the Metropolitan District and not the City of Aurora.

\*NOTE: Images shown are conceptual of the prairie-style influence and Modern Colorado motif. All designs are subject to change at time of CSP.

Enhanced pavement within the ROW shall be covered by a license agreement and shall be the responsibility of the Metropolitan District.





Commercial / Retail / Civic

## Street Furniture Standards

Specific street furniture standards are not intended to be replicated across the entire community but are intended to represent the Prairie influenced modern Colorado style. This is intended to allow for variations in identity between the different land uses and users. Site furnishings shall include, but not limited to benches, trash receptacles, recycling receptacles, ash cans, planters, pet pick-up stations, tables, chairs, and umbrellas.

Site furnishings should emphasize the prairie-influenced modern Colorado theme by using long, horizontal forms coupled with materials that create a sophisticated, modern look.

### Commercial / Retail / Civic:

Areas of high pedestrian traffic, such as plazas, commercial areas, employment centers, and recreation centers may include additional site furnishings to accommodate the higher demands by users of those areas. Site furnishings in these areas may also include bollards with (or without chains) and information kiosks.

Site furnishings in commercial and retail areas should be predominately metal with wood accents to provide a sleek and clean modern look. Planters and decorative paving can also be used to help define spaces such as passive seating areas and more activated gathering spaces.

### Residential:

Site furnishings in residential and park areas may be a mix of wood and metal to evoke warm and inviting mindsets while still maintaining a more modernized aesthetic.

### Open Space:

Site furnishings located in open space are anticipated to have less of a demand than more high traffic areas, however are still necessary for users of these spaces. Furnishings in these areas may be predominantly metal or incorporate masonry to reduce long-term maintenance demand.



Residential / Park



Open Space

\*NOTE: Images shown are conceptual of the prairie-style influence and Modern Colorado motif. All designs are subject to change at time of CSP.



Logo Examples



Font Examples



TREND SANS ONE  
ALL CAPS  
ABCDEFGHIJKLMNOPQRSTUVWXYZ  
1234567890!@#%&'&\*()



Gotham Medium  
ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
1234567890!@#%&'&\*()

Primary Colors



PMS 2322C  
Hex 472a19  
C 45 M 70 Y 80 K 65  
R 71 G 42 B 25



PMS 7573C  
Hex aa6729  
C 27 M 63 Y 99 K 13  
R 170 G 103 B 41



PMS 7472C  
Hex 61bcb8  
C 60 M 5 Y 30 K 0  
R 97 G 188 B 186

Signage Standards

Specific signage standards are not intended to be replicated across the entire community but are intended to represent the Prairie influenced modern Colorado style. This is intended to allow for variations in identity between the different land uses and users. All signs shall meet or exceed the standards set by the City of Aurora sign code. In addition, this FDP has adopted a family of standardized typefaces, logo, and a series of thematic colors for use in all project identification signs as a community unifying element.

The logo should be present on all signage to provide continuity to the community.

All signage should use the standardized fonts for The Aurora Highlands. This standard fonts should be used on large commercial and retail signage in place of the using each logo on the sign panel(s). Text height should be consistent for all of the names listed on the signage.

The signs will use the materials listed with the monumentation pages where possible. The three primary colors of the brand should be used as well where they are applicable.

\*NOTE: Images shown are conceptual of the prairie-style influence and Modern Colorado motif. All designs are subject to change at time of CSP.





Civic Buildings



Recreation Centers



Non-Standard Roadway Sections



Non-Standard Roundabouts



Vertical Tower Elements

## Special Facilities and Structures

Special facilities within The Aurora Highlands may include, but not limited to:

- Civic Buildings
- Recreation Centers
- Community Centers
- Non-standard Roadway Sections
- Non-standard Roundabouts
- Vertical Tower Elements

The FDP includes, Civic Centers, Community Centers, and Recreation facilities open to all residents in the development. These facilities will reflect one of the architectural styles illustrated in the architectural standards that best reflects the village they are adjacent to or within.





Smaller Units Focused on Greenways



Trails Connect Residents to Open Space and Amenities

## Special Village Concepts

The Modern Colorado theme that defines The Aurora Highlands in the landscape and architecture is also reflected in the land planning. Villages within this community emphasize what inspires most Coloradans, the outdoors. The villages are focused around village parks, neighborhood activity centers, and naturalized open space. Additionally, a trail system further ties these open space elements together, providing all residents of the community access to the amenities it provides.

Villages surrounding more urban environments, such as a mixed-use main street, commercial activity centers, and recreation centers, are also characterized by higher densities. Providing destinations for the trail systems that connect the community, these gathering areas create a balance between the built environment and the open space system.



Areas of High Density Focus Around Commercial Areas



\*NOTE: Images shown are conceptual of the prairie-style influence and Modern Colorado motif. All designs are subject to change at time of CSP.



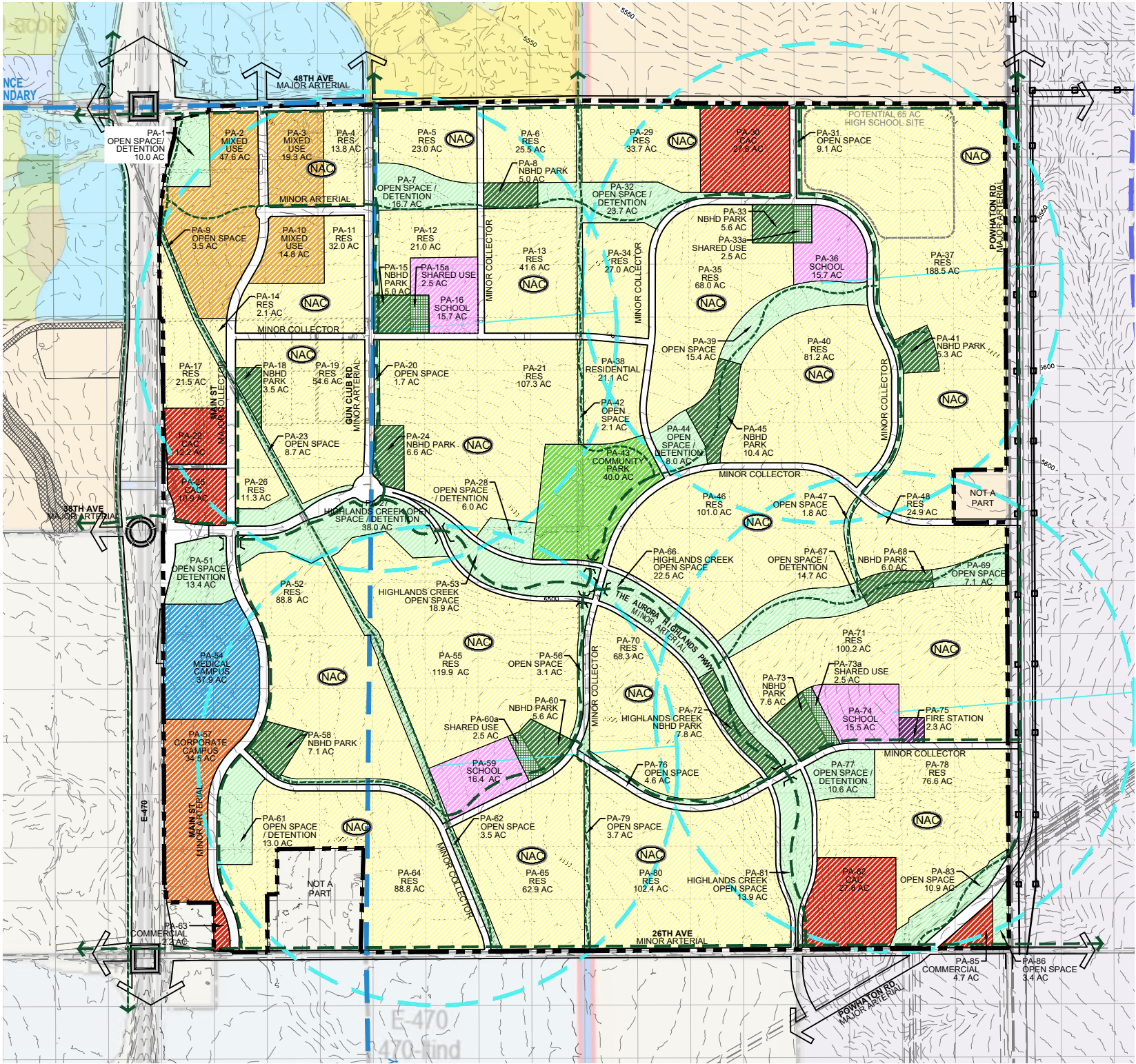
Buffer Treatment

Buffer treatments are derived from compatible and non-compatible land uses. Reference the compatibility matrix and land use map for additional buffering requirements. All buffering is for land uses that are directly adjacent to one another without any dividing feature such as a road or open space.

		Residential	Multifamily	Mixed Use / Main Street Village	Corporate Campus	CAC	Medical Campus	Civic	School	*Parks and Open Space
USE										
Residential			C	A	C	C	C	C	C	A
Multifamily		C		A	C	B	C	B	C	A
Mixed Use / Main Street Village		A	A		A	A	A	A	D	A
Corporate Campus		C	C	A		A	A	A	D	A
CAC		C	B	A	A		A	B	D	A
Medical Campus		C	C	A	A	A		A	D	A
Civic		C	B	A	A	B	A		D	A
School		C	C	D	D	D	D	D		A
*Parks and Open Space		A	A	A	A	A	A	A	A	

- A Compatible Land Use - No Buffer Zone is Required
- B Non-Compatible Land Use - The following buffer zone treatment is required: a 10' landscape open space buffer zone.
- C Non-Compatible Use - The following buffer zone treatment is required: a 20' landscaped open space buffer zone.
- D Non-Compatible Use - The following buffer zone treatment is required: a 25' landscaped open space buffer zone.

\* If Parks and Open Spaces are dedicated to the City (Public), then refer to Appendix 14 for required buffer treatments.



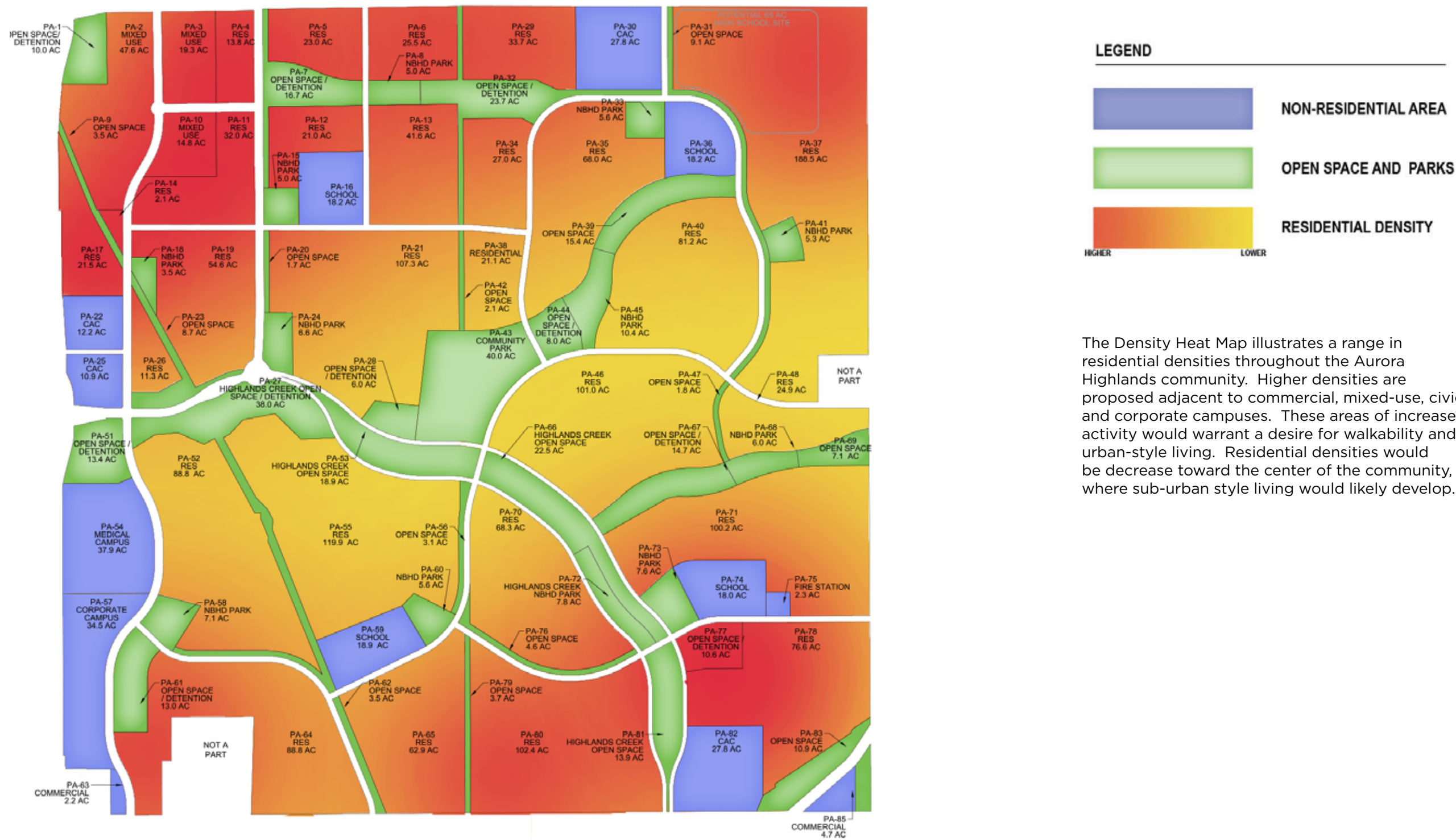
NOTE: No additional buffers are required when land uses are separated by a road. Standard road buffers per Appendix 14 will apply.

Buffer treatments conform with Appendix 14, Section 146-1422.

Setbacks from oil and gas sites shall conform with City standards, as applicable.



Density Heat Map



The Density Heat Map illustrates a range in residential densities throughout the Aurora Highlands community. Higher densities are proposed adjacent to commercial, mixed-use, civic, and corporate campuses. These areas of increased activity would warrant a desire for walkability and urban-style living. Residential densities would be decrease toward the center of the community, where sub-urban style living would likely develop.

## Lot Standards

### INTRODUCTION

The Aurora Highlands will have a fine grain mix of products throughout the community. It is intended that each village will include a wide mix of products to support the Aerotropolis with products appropriate to the market and shall comply with the Unified Development Ordinance upon adoption.

Lot standards included with this FDP comply with the standards proposed by the waivers approved by City Council and shall comply with the Unified Development Ordinance upon adoption.

### DENSITIES AND DENSITY TRANSFERS

At no time shall the overall density at the Aurora Highlands exceed 5.0 du/ac. Density transfers shall be permitted across villages to permit higher intensity development adjacent to mixed use corridors, Community Activity Centers and Arterial/Arterial intersections.

FRONT LOADED PRODUCT	MIN. LOT FRONTAGE(3)	MIN. LOT AREA
Single Family Detached - Standard	50 Feet	4,500 S.F.
Single Family Detached - Small	<50 Feet	Or < 4,500 S.F.
Duplexes	40 Feet	3,200 S.F.

ALTERNATE LOADED PRODUCT(1)	MIN. LOT FRONTAGE(2)	MIN. LOT AREA (2)
Single Family Detached	30 Feet	1,500 S.F.
Duplexes	25 Feet	1,250 S.F.

### LOT SIZE

1. Alternate Loaded Product is a home design having garage doors facing in a direction other than the street on which the home fronts, including green courts and motor courts.
2. Minimum lot frontage or minimum lot area for Alternate Loaded Product may not include an alley or common shared drive. The alley or shared drive may be located in a tract or public access easement.
3. Other than a duplex, no front loaded product can be built on a lot less than 45' in width.

### STANDARD DISTRIBUTION

1. If no more than 35% of the total number of lots are small, the increased small lot percentage below does not apply.

### INCREASED SMALL LOT PERCENTAGE

1. A small lot is defined as any lot less than 50' in width or less than 4,500 sf in area regardless of vehicular access or configuration.
2. A master plan for less than 100 lots is not eligible for more than 35% small lots.
3. If an applicant wishes to have more than 35% small lots, the following criteria apply:
  - Up to 50% of the total number of lots may be Small Lots.
  - No more than 35% of the total number of lots may be small front loaded.
  - No more than 60% of the total number of lots may be a single type as described in the Product Mix section.
  - Groupings of small lots should be distributed throughout a master plan and site plan.
  - A minimum 40% of the total number of lots must be standard or larger.
  - If a master plan includes 200 lots or more a minimum 10% of the total number of lots must have a 60' minimum frontage and 6,000 sf of lot area.

## SETBACKS

LOT TYPE	FRONT	SIDE	REAR
SFD - Standard - Front Load	15' House 20' Garage	5' or building code 10' corner units	10'
SFD - Small - Front Load	10' House 18' Garage	5' or building code 10' corner units	10'
Duplex - Front Load	10' House 18' Garage	5' or building code 10' corner units	10'
SFD - Alley, Green Court or Motor Court	10' House 5' Porch [a]	5' or building code 10' corner units	3' if alley load, or applicable standard
Duplex - Alley, Green Court or Motor Court	10' House 5' Porch [a]	5' or building code 10' corner units	3' if alley load, or applicable standard
SFA - Alley	10' House 5' Porch [a]	10' corner units	3'

[a] Porches and stoops associated with a front setback less than 10' shall be limited such that any roof element or associated structure is no greater than a single story. 5' porch setback shall be increased if needed to accommodate utility infrastructure or required landscaping.

## OPEN SPACE

### Private Open Space

Each lot less than 50' in width or less than 4,500 square feet shall incorporate a private, usable outdoor space or spaces with direct access to the lot's dwelling unit.

Such a space shall:

- Contain at least 180 square feet with a minimum dimension of at least 10 feet by 18 feet. If provided in more than one space, the total of all spaces must contain at least 200 square feet and each space must have a minimum dimension of 10 feet by 10 feet; and
- Be demarked for private use.

Driveway and parking areas shall not be counted toward meeting this private open space requirement. A front yard may count toward this requirement if the front yard meets the minimum dimensions described above and the space includes a front porch, deck or similar space with minimum dimensions of 6 feet by 8 feet.

A portion of the private outdoor space may be contained on an adjacent lot if proper use easements are obtained. Patios, porches, roof top decks and similar space may also count toward this requirement. A lot with frontage on a green court complies with this requirement.

### Common Open Space

A lot less than 50' in width must be within ¼ mile of one of the following:

Parks or Open Space as defined by, and granted parks credit by PROS

1. Neighborhood Park
2. Community Park
3. Pocket Park
4. Open Space. A trail corridor must have a minimum width of 50' in order to count toward this requirement.

Other options:

5. A privately maintained recreational facility that serves the residential development (i.e. HOA pool, Neighborhood Activity Center (NAC), etc.)
6. Lots with frontage on a Green Court comply with the common open space requirement

## ARCHITECTURAL STANDARDS AND SMALL LOT PERCENTAGES

No changes from existing code. 47% Garage Standard applies to Front Loaded Product.

## GARAGE MITIGATION

50% of all standard or larger lots must be alternate loaded or have recessed garages.

For lots 50' or less in width, 75% of lots must be alternate loaded or have recessed garages. Homes not meeting this requirement must be distributed throughout a development parcel or planning area.

Points would still be awarded for porches, etc. from the architectural menu. The required point total would not change.

## PRODUCT MIX

Any residential development or FDP within the E-470 or Northeast Plains Medium Density Residential shall have a mix of lot or housing products as follows:

Required Mix for a master plan or site plan with 35% or less Small Lots	
200-400 Units	2 Lot / Housing Types
400-800 Units	3 Lot / Housing Types
800 +	4 Lot / Housing Types

Required Mix for a master plan or site plan with greater than 35% Small Lots	
100-199 Units	2 Lot / Housing Types
200-399 Units	4 Lot / Housing Types
400-799 Units	4 Lot / Housing Types
800 +	4 Lot / Housing Types

Single family detached front loaded - 70' frontage
Single family detached front loaded - 60' frontage
Single family detached front loaded - 50' frontage
Single family detached front loaded - <50' frontage
Single family detached alley
Single family green court or motor court >35' frontage
Single family green court or motor court <35' frontage
Single family attached duplex
Single family attached townhomes
Multifamily condominiums or apartments



## GREEN COURTS

### Purpose and Intent

The green court option is intended to contribute to a mix of housing types and land uses by permitting more flexible arrangements of buildings and open spaces. Green courts are an arrangement of single family residential products around a common open space area intended for use by residents and guests. Typically green court lots are smaller than average lots because they share a common space within a higher density format and are oriented perpendicular to a street. Green courts and adjacent housing shall demonstrate quality design, provide open space that is accessible and usable by residents, and encourage resident interaction.

Green courts within a neighborhood should have a variety of home elevations, styles and green court designs. Green courts may also be located within blocks that include other non-green court housing products. A north-south orientation for green courts is also encouraged. The use of a green court should not negatively impact street frontage by creating extended lengths of side facing buildings or result in the garages or the rear of buildings facing a street.

### Green Court Widths

The green court width is calculated by measuring from the narrowest dimension of front building face to front building face. Porches and stoops facing the green court may extend up to 5-feet beyond the building face provided any roof or associated structure is no greater than a single story. If provided, porches shall be a minimum 45 square feet in area and a minimum 5' wide in its narrowest dimension.

Minimum Green court width is 30' or equivalent to the height of the tallest residential building facing the green court, whichever is greater. For the purposes of defining Green Court width building height is measured to the highest point of the coping of a flat roof or the deck line of a mansard roof, or to the peak of a gable, pitched or hip roof. .

### Standards

1. All street connectivity and block standards of these regulations shall apply.
2. All dwelling units shall have front entry features (stoops and/or porches) fronting on a green court or a street.
3. No more than 14 dwelling units may face the same green court. The number of units facing a green court may be increased to 24 dwelling units if both ends of the green court have frontage on a public street and the design is approved by Life/Safety. If the number of units facing a Green Court exceed 14, in no case may the length of the Green Court exceed 360 feet.
4. Each green court shall have direct frontage on a street that includes on-street parking and sidewalks on both sides.
5. The majority of the green court area shall be open with landscaping which should accommodate foot traffic and play areas. Sidewalks should be located to accommodate pedestrian access while maximizing use of the open area within the green court. Trees are allowed in open greens but should be located along the perimeter and typically be canopy tree species to allow usable space under the tree canopy.
6. Above grade utility, cable, telecommunication infrastructure or similar improvements should be located outside of the central green court area.
7. Maintenance and management of common areas shall be provided by a homeowner's association or other similar entity.

## Green Court Design Alternatives

The following design alternatives may be used to provide additional design flexibility for green courts.

### 8. Variable Green Court Width

Within a green court the width may vary and include portions that are less than the minimum when the following conditions are met.

- The green court meets or exceeds all standards above and is consistent with the purpose and intent of this section;
- At least 75% of the green court meets or exceed the minimum width requirement; and
- In no case is the green court width less than 15-feet for 1-2 story, or 25-feet for 3 story buildings.

### 9. Narrow Green Court Width

In limited circumstances the director may approve green courts with the following reduced widths:

- 20 feet for 1-2 story,
- 30-feet for 3 stories.

This option shall be limited to not more than 6 dwelling units facing the green court and the units shall not exceed 2 stories. Reduced green court width shall be limited to 1 per block.